

# SINGLE FAMILY RESIDENCE PERMIT GUIDE

INCLUDING MANUFACTURED HOUSING DESIGNED TO THE INTERNATIONAL  
RESIDENTIAL CODE REQUIREMENTS

HUMBOLDT COUNTY BUILDING DEPARTMENT  
25 W. FOURTH STREET  
WINNEMUCCA, NV 89445  
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CITY OF WINNEMUCCA BUILDING DEPARTMENT  
90 W. FOURTH STREET  
WINNEMUCCA, NV 89445  
(775) 623-6319  
(775) 623-6321 FAX

## **GENERAL INFORMATION**

This guide outlines the requirements for obtaining a building permit to construct a single-family residence in Humboldt County and the City of Winnemucca. In order to ensure that your application is processed in a timely manner, your submittal package must be complete.

Once submitted, your plan package will require review and approval from the following County and State Agencies:

Zoning Approval  
Humboldt County Planning & Zoning Department  
(Site Plan/Zoning Codes)  
623-6393

Street Excavation/Encroachment  
Humboldt County Road Department  
623-6416

Excavation/Encroachment permits are required from the Road Department for any encroachment in a county road easement or right of way. This includes driveways.

Highway Encroachment  
Nevada Department of Transportation  
(775) 623-8000

Plan Review  
Humboldt County Building Department

Flood Zone Area Review  
Humboldt County Building Department

Water/Domestic Well Installation  
Shall be approved by Nevada State Water Resources  
(775) 684-2800

UBC Built Homes/Additions to Manufactured Homes  
Nevada State Manufactured Housing Division  
(775) 486 – 4138 - Las Vegas

Approval from water district or sewer districts is also required.

We recommend you contact the following utility companies for their regulations and plan approval (if required) before you begin your project.

Power:

Sierra Pacific Power Company – (800) 962-4166

Harney Electric – (775) 272-3336 (Orovada area)

Gas: Natural Gas: Southwest Gas Company – (800) 832-2555

Propane: Amerigas – (775) 623-3055

Western States Propane – (775) 623-9555

Telephone: AT&T – (877) 469-2355

Humboldt Telephone – (775) 272-6008

Before you apply for a building permit you should contact the Planning Department (623-6393) to confirm and/or check on zoning requirements for the property you wish to develop. If any zoning action (that requires review by the Planning Commission or Board of County Commissioners) is needed, you may want to submit your proposed plans to the Building Department while you wait for the Board(s) action to take place. This step may assist in reducing process time.

### **LOCAL ORDINANCES/CODES**

In order to assist you in ensuring that your plans comply with Humboldt County requirements, the following list was established showing the current codes. If you need copies of any of these codes, the Humboldt County Library has copies for check out.

Humboldt County Ordinance 11-04-13a  
Humboldt County Code - 15.04  
Winnemucca Municipal Code – 15.04

#### **NATIONAL CODES**

2012 International Residential Code  
2009 International Energy Conservation Code  
2005 National Electric Code  
2012 Uniform Mechanical Code  
2012 Uniform Plumbing Code

#### **DESIGN CRITERIA**

Wind Load – 90 mph fastest mile, 105 mph 3-second gust, exposure C  
Seismic Zone – D1  
Roof Load – 20 lb live load  
Ground Snow Load  
    Up to 5,000 ft. elevation – 5 lb. roof load  
    Over 5,000 ft. elevation – 10 lb. roof load  
Frost Line – 24”  
Soil Classification – 2006 IRC Table R401.4.1  
    General (City and County – See exception below) – 2,000 psf  
        SW, SP, SM, SC, GM and GC – Sand, silty sand, clayey sand, silty gravel, and clayey gravel  
    Other Areas – North (Denio/Virgin Valley); Sand Dunes Area (Artemesia, Delaney, Lambert) – 1,500 psf  
        CL, ML, MH, and CH – Clay, sandy clay, silty clay, clayey silt, silt and sandy silt

I. **SCOPE OF WORK (R101.2)**

\_\_\_\_\_ Limited to 3-stories

II. **APPLICATION**

\_\_\_ **Completed Building Permit Application**

(Assessor's Parcel Number (APN) must be included on application)

\_\_\_ **Two full set of plans and completed submittal checklist**

III. **PLAN PREPARATION**

Construction design plans and supporting documents must be prepared, signed, and stamped by a Nevada-registered architect or professional engineer for any residence, which cannot conform to the light frame conventional wood construction of the IRC (i.e. multi-story houses of irregular shape, log homes, straw houses, tire houses, etc.) R301.1.3 & R301.2.2.2.2

A contractor licensed under the provisions of the Nevada Revised Statutes (NRS 624) may prepare and submit his own plans provided that the plans are signed by the contractor and meet the conditions specified in the Nevada Revised Statutes (623.330) and comply with the IRC for conventional light framing.

**As allowed under an exception to the Nevada Revised Statutes (NRS 623.330), owner/builders may prepare and submit their own plans for their private residential use. In order to utilize this exemption, the applicant will be required to title the plans without reference to being prepared by a party other than the property owner who is building or overseeing the building activities.**

***IF THE PROPERTY IS LOCATED IN A DESIGNATED FLOOD ZONE, ADDITIONAL REQUIREMENTS MAY BE IMPOSED.***

IV. **PLANS AND SUPPORTING DOCUMENTATION** *(must be legible, and drawn to scale in ink)*  
**UPON SUBMITTAL OF A PLAN PACKAGE THE APPLICANT IS REQUIRED TO PAY A PLAN REVIEW FEE BASED UPON THE SIZE OF THE STRUCTURE.**

Two (2) sets of **building plans: Drawn on a minimum 11x17 size paper. The scale must be legible and drawn to at least 1/8" = 1' scale.**(in ink or reproduction), which include the following:

\_\_\_ **Completed submittal checklist**

\_\_\_ **Site Plan** - Drawn to scale (including lot dimensions, street names, building footprint and location, easements, rights of way, all setbacks from property lines and existing structures, north arrow, and location of septic system, well and electrical service)

A. Locate your septic tank before placement of residence. A minimum of 8 feet is required to the nearest portion of the septic tank.

\_\_\_ **Grading.** If grading or excavating occurs before a building permit is issued a grading permit is required.

\_\_\_ **Foundation plan and footing details** (if on disturbed soil or backfill a licensed Nevada engineer shall design plans and compaction tests will be required). Indicate all interior footing and load transfer footing.

- \_\_\_ **Floor plan** dimensioned with at least 1/8" = 1', with all rooms labeled, and showing all window and door sizes, location of plumbing fixtures, appliances, fireplace/woodstove, and kitchen islands, water heater location, mechanical equipment location, type and BTU's.
- \_\_\_ **Stair details**, if applicable
- \_\_\_ **Floor framing plan**
- \_\_\_ **Roof framing plan** with all header and beam sizes
- \_\_\_ **Cross sections** showing construction details, roof pitch, sizes, and spacing of structural members
- \_\_\_ **Hold-down anchors** type and location
- \_\_\_ **Braced wall** material and location
- \_\_\_ **Elevations** (front, rear, and sides) including labeling of building exterior finish
- \_\_\_ **Basement** – elevations, indicating the height of backfill, and dampproofing/waterproofing material.
- \_\_\_ **Electrical Plan:** (floor plan showing electrical outlets, lighting fixtures and equipment, smoke detectors, GFI outlets, and electrical service size and location). An electrical calculation shall be submitted for houses over 2,500 square feet.
- \_\_\_ **Plumbing:** Floor plan shall indicate location of plumbing fixtures.
- \_\_\_ **Mechanical:** Floor plan shall indicate location of heating/ac units and water heater. Indicate type and BTU's of equipment.
- \_\_\_ **Gas piping:** Indicating size and type of gas pipe & whether it is natural gas or propane.
- \_\_\_ **Woodstove/pellet stove** manufacturer's specifications
- \_\_\_ Unusually structural designs shall be wet stamped by a Nevada engineer or architect. Proof of compliance with the model energy code, indicating insulation r-values and window types and r-values.

IV. **AGENCY APPROVALS** - not required at initial submittal; however, they must be completed and presented to the Building Department prior to final inspection of the residence:

- \_\_\_ **SANITATION (SEPTIC/SEWER) VERIFICATION**
- \_\_\_ **Well** – shall meet requirements of Nevada State Water Resources
- \_\_\_ **Modular Construction** – Nevada State Manufactured Housing approval is required.

## **NORMAL PROCESSING TIME FROM APPLICATION TO PERMIT ISSUANCE**

The normal processing time, not including any needed land use approvals to obtain a permit to construct a *single family residence* is approximately 2 weeks or 10 working days. This process includes plan reviews by the Building Department. If there are no problems with your plans during the plan review or if there is an increased volume of submittals from the public, this processing time could increase. **Thus, it is in your best interest to properly submit all required documents and plans and to respond promptly to any requests for information or corrections.**

Once your plans have been approved by the Building Department you will be notified that your permit is ready to be issued. At this time, you will also be informed of the remaining fees that are due to the Building Department for the permit.

When you return to the Building Department and pay your fees, the permit and inspection record form (job card) will be issued. In addition, one set of approved plans will be returned to the permittee, and the Building Department will retain one set of plans.

## **INSPECTION REQUIREMENTS**

When you begin construction, you will be REQUIRED to call the Building Department (623-6322) 24 hours in advance for inspections as each phase is completed.

The inspection record form received at permit issuance lists the required inspections for your project. These inspections must be done in sequence as shown on the inspection record form, and NO WORK should be covered before it receives an approved inspection. Framing inspection includes rough electric, rough plumbing, and rough mechanical. Underground utility inspections includes water, electric and sewer (from the house to the septic tank)

### Required Inspections

- Footing
- Stemwall
- Underground utilities
- Underfloor inspection(includes plumbing, hvac, insulation, test on dwv & water lines)
- Framing and rough electrical, plumbing & mechanical (Note: Framing and roughs are performed at the same time)
- Insulation
- Sheetrock & gas test
- Final

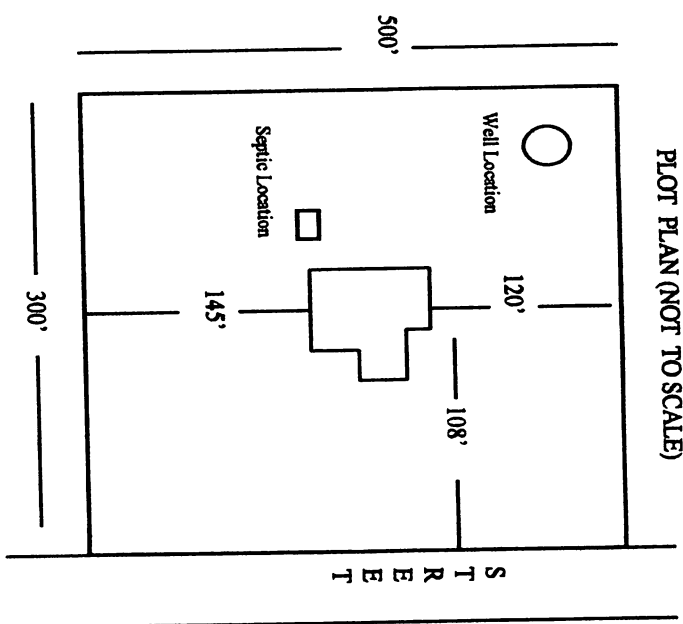
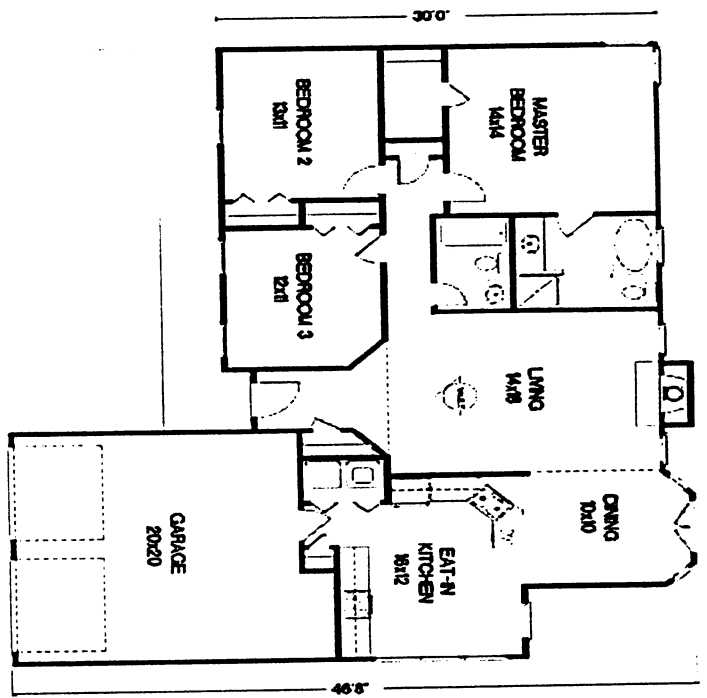
Each permit must have an approved required inspection within 180 days from the permit issue date or from the last approved inspection; otherwise the permit becomes null and void. The permits are required to be expired per IRC Section R105.5

After passing all required inspections (including the final) the Building Department will issue a certificate of occupancy. At this point, you may move into your new home. (Final sign off of your job card is your certificate of occupancy.

HUMBOLDT COUNTY BUILDING DEPARTMENT  
 MINIMUM BUILDING PLAN REQUIREMENTS

One copy of plans are required. Plans must be legible.

If the residence is typical light frame construction the plans may be drawn by the owner/builder or contractor. PLEASE USE YOUR OWN SIZES AND DIMENSIONS. THE DRAWINGS ARE EXAMPLES ONLY. Plans shall be drawn to scale—the preferred scale is 1/4" = 1'



PLOT PLAN (NOT TO SCALE)

PLOT PLAN

SHOW THE SHAPE AND SIZE OF LOT OR ACREAGE, THE LOCATION OF THE STREET. THE LOCATION OF THE BUILDING ON THE LOT, WITH DISTANCES TO PROPERTY LINES. FOR ADDITIONS—INDICATE THE NEW ADDITION IN DOTTED LINES IN REFERENCE TO EXISTING STRUCTURES.

FLOOR PLAN

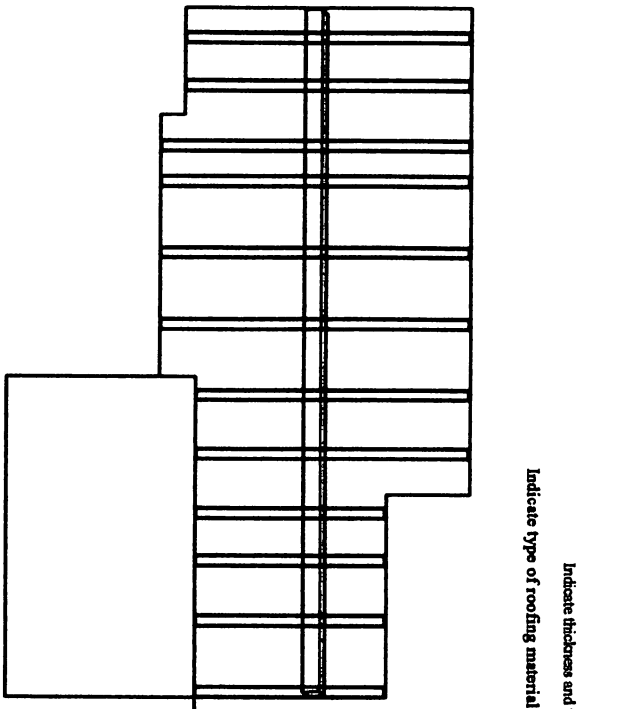
INDICATE ROOM SIZES, IDENTIFY ROOM USES, LOCATION OF PLUMBING FIXTURES, APPLIANCES, DOORS, WINDOWS, FIRE-PLACE/WOODSTOVE, KITCHEN ISLANDS. ALSO INCLUDE WINDOW SIZES.

ADDITIONAL INFORMATION

Plans shall indicate address, owners name, contractor's name and license number.

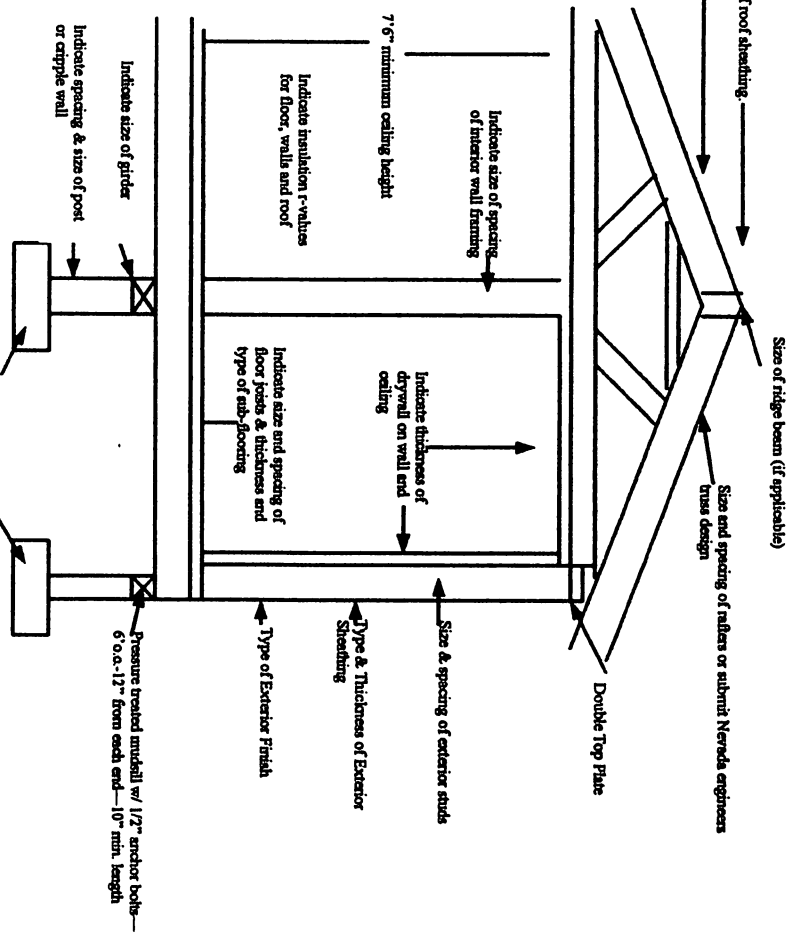






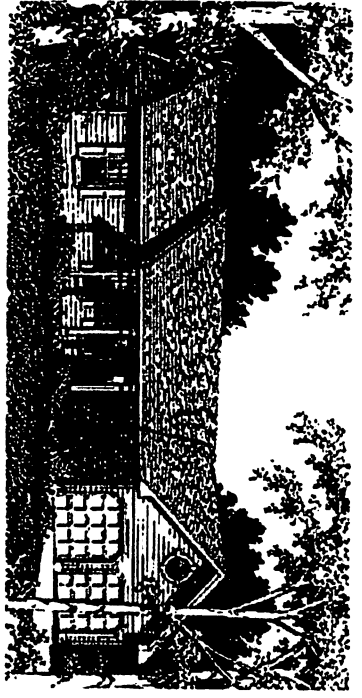
**FOUNDATION & FLOOR FRAMING DETAIL.**  
 INDICATE SIZE AND SPACING OF FLOOR JOISTS.  
 INDICATE ANY PONY WALLS OR POST FOOTINGS.  
 INDICATE CRAWL SPACE ACCESS LOCATION AND  
 FOUNDATION VENT LOCATIONS

If constructing a pony wall indicate the size of the footing and the size and spacing of the studs



**Cross Section—1/4" to 1"**

Show method of framing, roof pitch, roof braces, type of roofing, ceiling height, bearing partitions, posts, beams, header sizes over openings, foundation & finish grade.

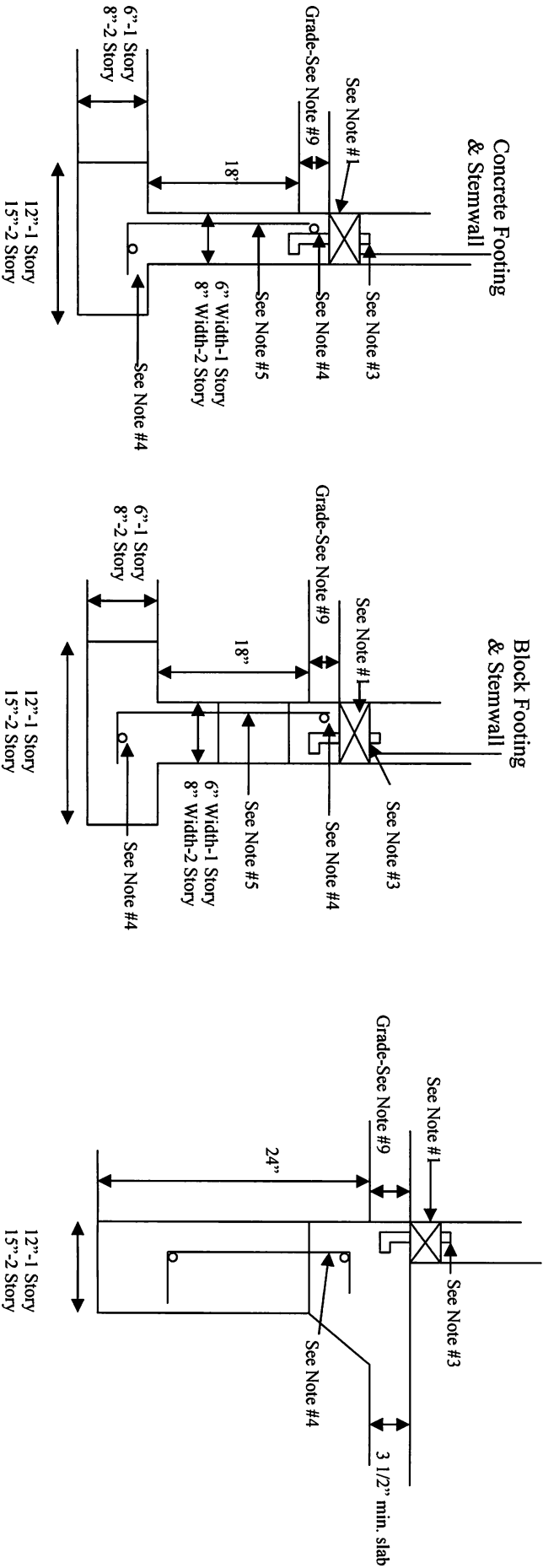


**ELEVATIONS**  
 Show at least two or more elevations

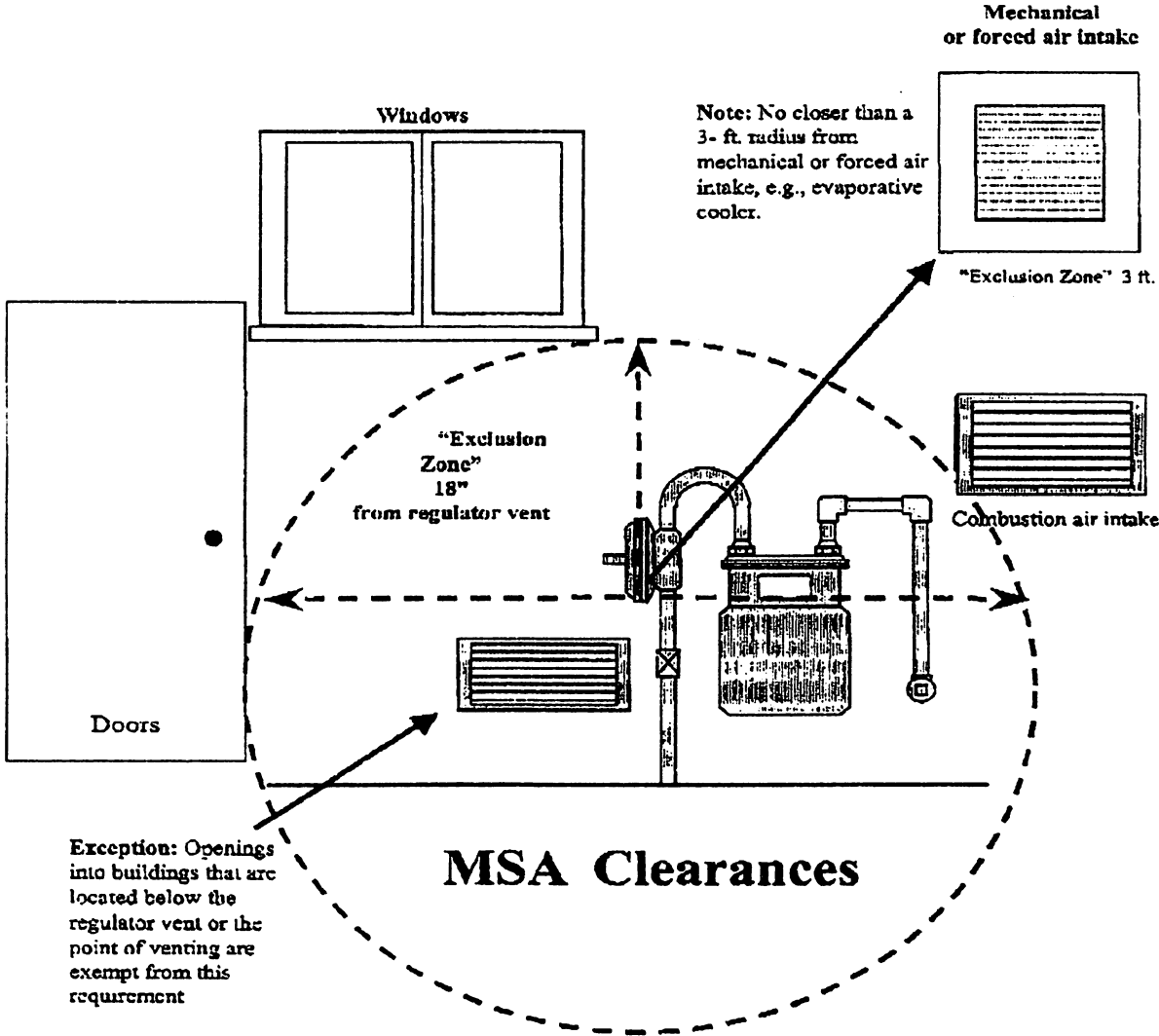
FOR WALL FRAMING AND BRACING SEE WALL FRAMING AND BRACING HANDOUT. ALL BRACED WALLS SHALL BE INDICATED ON PLANS.

HUMBOLDT COUNTY BUILDING DEPARTMENT  
 CITY OF WINNEMUCCA BUILDING DEPARTMENT  
 FOUNDATION DETAIL FOR ONE AND TWO FAMILY CONSTRUCTION  
 2010 INTERNATIONAL RESIDENTIAL CODE

1. Plates, sills or sleepers on concrete or masonry which is in direct contact with earth shall be treated wood. R318 & 319.1(3)
2. Foundations supporting wood shall extend at least 6" above the adjacent finished grade. R319.1(5) & R401.1.6
3. Foundation plates or sill shall be bolted to the foundation or foundation wall with not less than 1/2" bolts embedded at least 7" into concrete and spaced not more than 6' apart (2-story anchor bolts shall be placed 4' apart). There shall be a min. of (2) bolts per piece with one bolt located with 12" of each end of each piece. A min. of 0.229"x3"x3" thick plate washer shall be used on each bolts. A properly sized nut shall be tightened on each bolt to plate. Anchor bolts shall not be countersunk in the sill plate. R402.1.6 & R602.11.1
4. Min. of (1) #4 bar shall be installed within 12" of the top of the stemwall and (1) #4 rebar located 3" to 4" from the bottom of the footing. (R403.1.3). Monolithic foundations shall have a min. of (1) #4 rebar at the top and bottom. Where slab is not cast monolithically with footing #3 or larger vertical dowels with standard hooks on each end shall be provided. All rebar shall be supported. R403.1.3.2
5. 1/2" diameter rebar @ 48" o.c. The vertical bar shall extend 3" clear of bottom of the footing have a standard hook & extend a min. of 14" into the stemwall. Masonry walls shall be solidly grouted. R403.1.3
6. Footings & foundation shall extend below frost line and be continuous. R403.1.2 & R403.1.4.1 Footing shall be continuous under garage door openings. Accessory structures 600 sq ft or less with max. 10' eave height shall not be required to have frost protected footings. Min. depth of such footings shall be 12". R403.1.4.1, Exception 1
7. All exterior footings shall be placed at least 12" below undisturbed ground surfaces. R403.1.4
8. Rebar shall not be bent with heat (IBC Section 1907.3.1) When lapping rebar the lap shall be a min. of 20" for #4 rebar.
9. The grade away from foundation wall shall fall min. of 6" in the first 10'. R401.3
10. Underfloor areas shall be ventilated by openings of 1 sf/150 sf of floor area. With Class 1 vapor retarder the min. net area of ventilation openings shall not be less than 1/1500. Openings shall be provided within 3' of each corner. Close with 1/4" mesh. R408.1 & R408.2
11. Provide an 18"x24" foundation crawl space access. Access shall not be located under door to the residence. R408.4
12. Hold down devices are required where there is less than 4' from a corner or an opening or if the wall requires intermediate bracing and there are openings at the intermediate bracing area. Each panel end stud shall have a hold down device fastened to the foundation. Engineered hold down system is required if there is less than 2'8".
13. All vertical reinforcement and seismic hardware shall be in place at the time of footing inspection.



**SOUTHWEST GAS REGULATION FOR CLEARANCES FROM GAS METER**



**HUMBOLDT COUNTY BUILDING DEPARTMENT  
SINGLE FAMILY DWELLING PLAN SUBMITTAL CHECKLIST  
MUST BE SUBMITTED WITH PLANS**

**CHECK ALL ITEMS SUBMITTED**

	<b>SUBMITTED</b>	<b>NEED TO SUBMIT</b>
<b>Site Plan</b>	_____	_____
Design criteria (if applicable)	_____	_____
Plans signed correctly by Nevada architect, engineer or contractor (No logos on plans)	_____	_____
<b>Foundation Plan - full scaled plan</b>	_____	_____
Footing size	_____	_____
Stemwall size	_____	_____
Rebar in footing	_____	_____
Rebar in stemwall	_____	_____
Mudsill, anchor bolts & holddowns	_____	_____
Pony wall	_____	_____
stud wall	_____	_____
Size of footing	_____	_____
Rebar in footing	_____	_____
Stud size	_____	_____
Stud spacing	_____	_____
Post & beam	_____	_____
Size of footing	_____	_____
Size of post	_____	_____
Spacing of post	_____	_____
Size of beam	_____	_____
Connection at post & beam	_____	_____
Crawl space access	_____	_____
Crawl space vents	_____	_____
<b>Basement Plan</b>	_____	_____
Basement & wall details	_____	_____
Elevations/backfill height	_____	_____
Waterproofing & dampproofing	_____	_____
<b>Floor Plan - scaled</b>	_____	_____
Room labeled	_____	_____
Window sizes	_____	_____
Door sizes	_____	_____
Fireplace/woodstove location	_____	_____
Plumbing fixtures	_____	_____
Appliances	_____	_____
Kitchen	_____	_____
Water heater	_____	_____
Furnace	_____	_____
Kitchen Island	_____	_____
<b>Stair Detail</b>	_____	_____
<b>Roof Framing</b>	_____	_____
Nevada stamped engineered trusses	_____	_____
Rafters	_____	_____
Size	_____	_____
Spacing	_____	_____
Ridge beam	_____	_____
Headers	_____	_____
Windows	_____	_____
Doors	_____	_____
Garage Doors	_____	_____
Between posts at awning area	_____	_____

**HUMBOLDT COUNTY BUILDING DEPARTMENT  
SINGLE FAMILY DWELLING PLAN SUBMITTAL CHECKLIST  
PAGE 2**

	<b>SUBMITTED</b>	<b>NEED TO SUBMIT</b>
<b>Cross section</b>		
Exterior studs		
Size	_____	_____
Spacing	_____	_____
Interior Studs		
Size	_____	_____
Spacing	_____	_____
 <b>Cross section - continued</b>		
	<b>SUBMITTED DATE</b>	<b>NEED TO SUBMIT</b>
Floor joists		
Size	_____	_____
Spacing	_____	_____
Subflooring	_____	_____
Foundation		
Footing		
Size	_____	_____
Rebar	_____	_____
Stemwall		
Size	_____	_____
Rebar	_____	_____
Mudsill & anchor bolts	_____	_____
Pony Wall		
Stud		
Footing size	_____	_____
Size	_____	_____
Spacing	_____	_____
Post & beam		
Footing size	_____	_____
Post size	_____	_____
Post spacing	_____	_____
beam size	_____	_____
Roof		
Truss	_____	_____
Rafter		
Size	_____	_____
Spacing	_____	_____
Ridge beam	_____	_____
Connections	_____	_____
Special beams on load path	_____	_____
Roof sheathing	_____	_____
Roofing material	_____	_____
<b>House Wrap</b>		
Specify wrap type for vapor barrier & thermal barrier	_____	_____
<b>Insulation</b>		
Floor	_____	_____
Wall	_____	_____
Ceiling	_____	_____
<b>Sheetrock/wall finish - Interior and exterior</b>	_____	_____

**HUMBOLDT COUNTY BUILDING DEPARTMENT  
SINGLE FAMILY DWELLING PLAN SUBMITTAL CHECKLIST  
PAGE 3**

	<b>SUBMITTED</b>	<b>NEED TO SUBMIT</b>
<b>Awning/Porch</b>		
Footing size	_____	_____
Post sizes	_____	_____
Post spacing	_____	_____
Header	_____	_____
Rafters		
Size	_____	_____
Spacing	_____	_____
Connections	_____	_____
<b>Electrical</b>		
Provide electrical calculation if house is over 2,500 square feet	_____	_____
Outlets	_____	_____
GFCI outlets	_____	_____
Lights	_____	_____
Switches	_____	_____
Ceiling fans	_____	_____
 <b>Electrical - continued</b>		
	<b>SUBMITTED DATE</b>	<b>NEED TO SUBMITT</b>
Smoke detectors	_____	_____
Electrical subpanel	_____	_____
Electrical service	_____	_____
<b>Plumbing</b>		
Location of plumbing fixtures	_____	_____
<b>Mechanical</b>		
Location & type of appliance	_____	_____
BTU ratings	_____	_____
Water heater location & type	_____	_____
<b>Elevations</b>		
Front	_____	_____
Rear	_____	_____
Sides	_____	_____

Revised 2/2005